

- LEGEND
- GROUNDCOVERS/ PERENNIALS/ ANNUALS
 - SHRUBS
 - ORNAMENTAL TREES
 - CONIFERS
 - SHADE TREES
 - SOD/SEED
 - STREET LIGHTING FIXTURE
 - TRASH RECEPTACLE
 - BENCH
 - UNFINISHED DECORATIVE STONE
 - DECORATIVE PAVING
 - BOULDER SET IN CONCRETE

EDGEWATER MASTER PLAN
RIVER ROAD LANDSCAPE IMPROVEMENTS

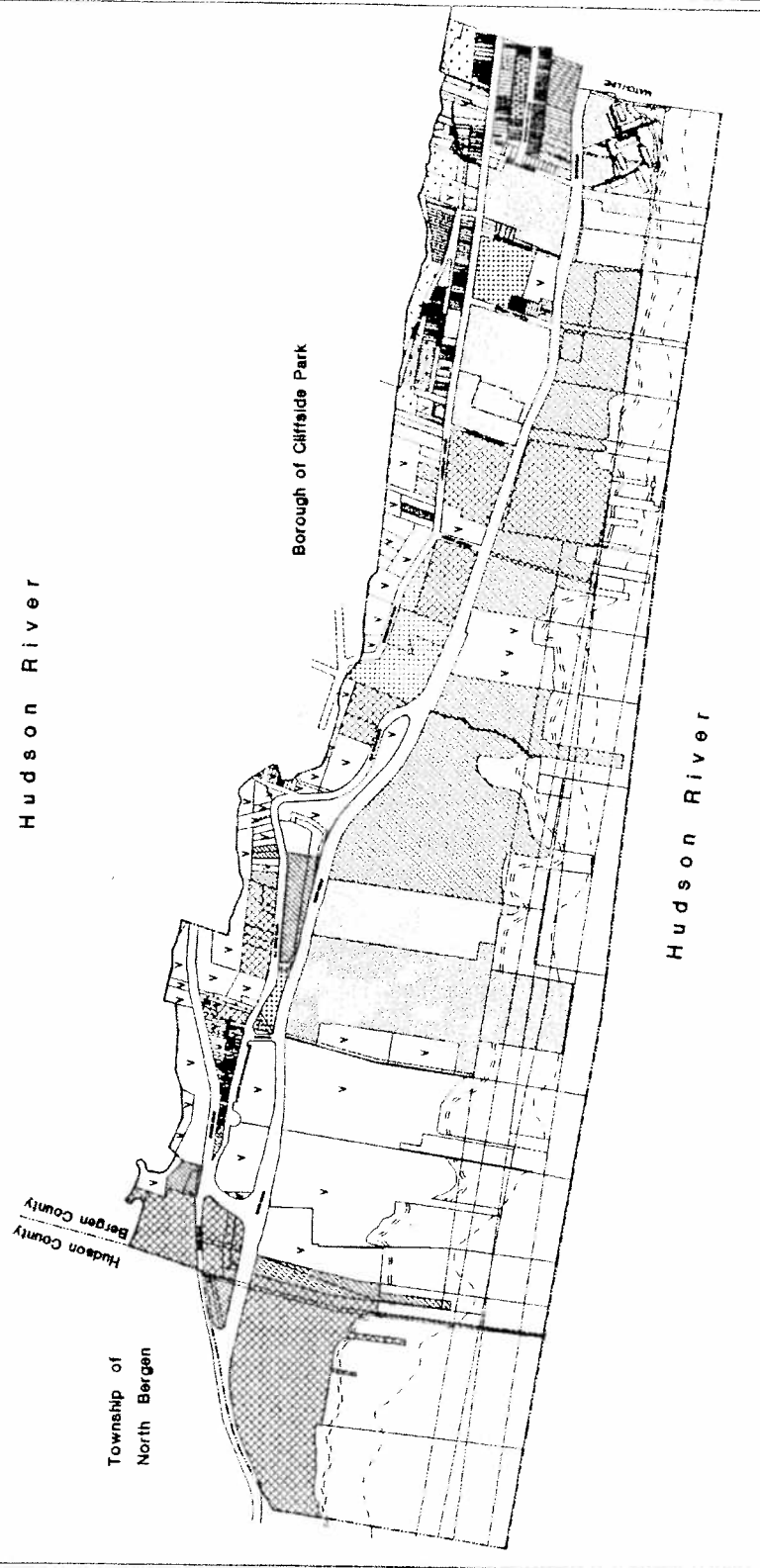
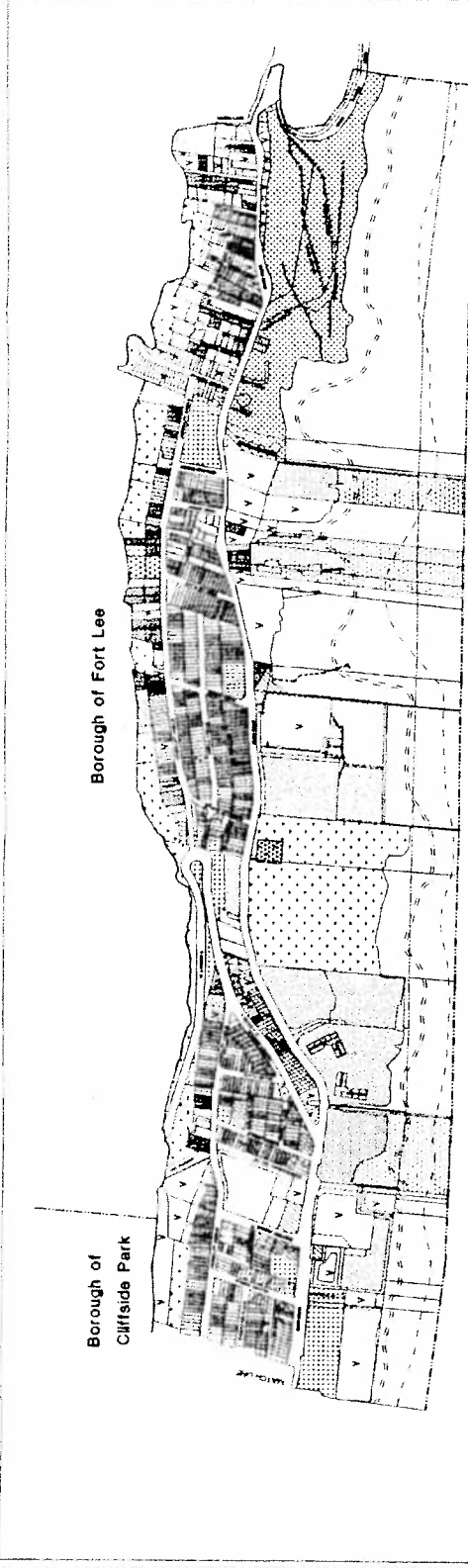
- LEGEND**
- 1. SINGLE-FAMILY
 - 2. MULTIFAMILY
 - 3. MEDIUM-DENSITY RESIDENTIAL
 - 4. HIGH-DENSITY RESIDENTIAL
 - 5. COMMERCIAL
 - 6. INDUSTRIAL
 - 7. OFFICE
 - 8. PUBLIC
 - 9. SCHOOL
 - 10. HEALTH CARE
 - 11. CONVENTION
 - 12. VACANT

EXISTING LAND USE

Category	Area (Acres)
Single-Family	1,234
Multifamily	567
Commercial	890
Industrial	123
Office	456
Public	789
School	234
Health Care	101
Convention	50
Vacant	321
Total	4,815

ADDITIONAL INFORMATION

Item	Value
Population	12,345
Area (Acres)	15,678
Water (Acres)	2,345
Forest (Acres)	3,456
Open Space (Acres)	4,567
Other (Acres)	5,678





PLANNING BOARD
CLIFFSIDE PARK, NEW JERSEY
1980
EDENHAR
MASTER PLAN

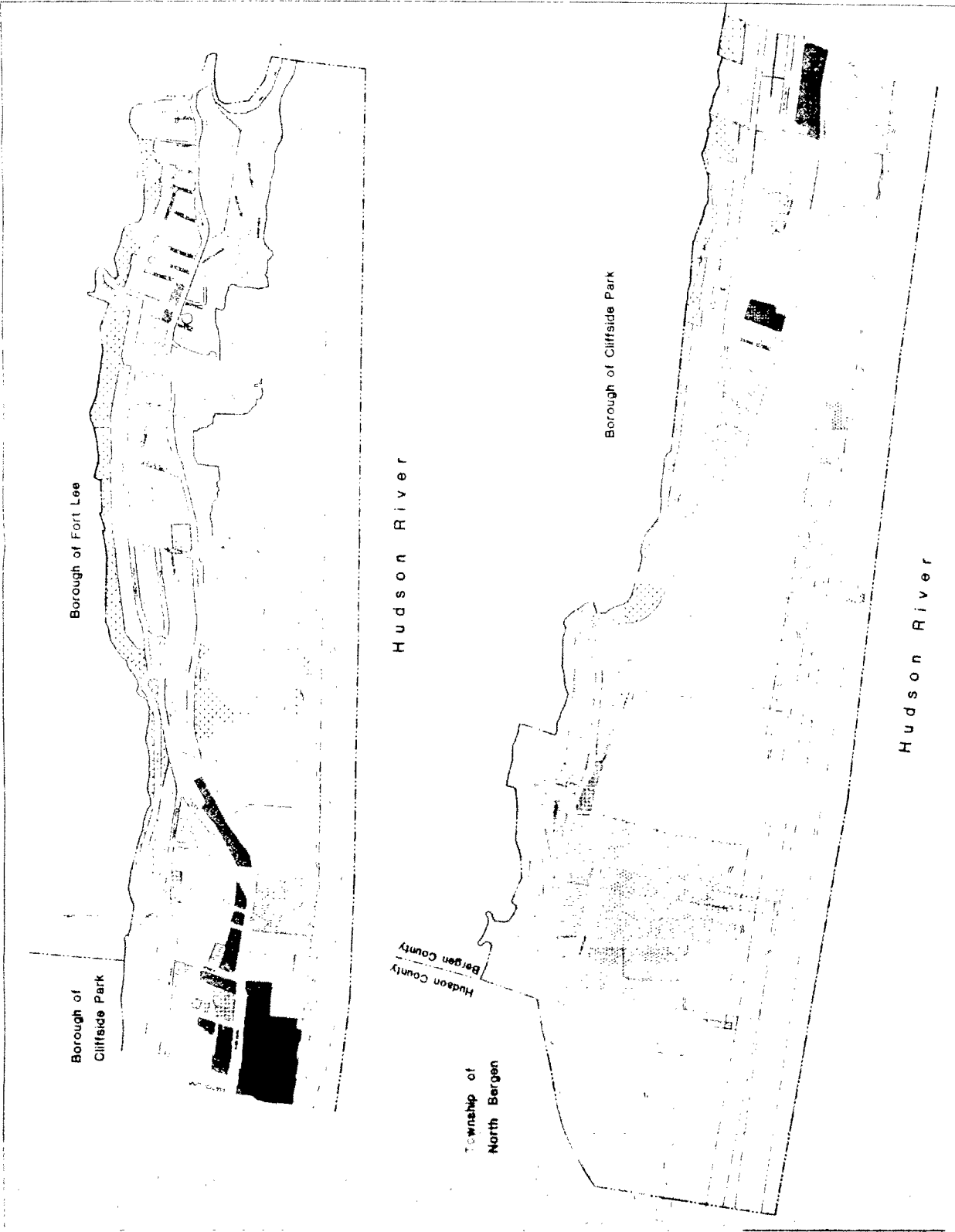


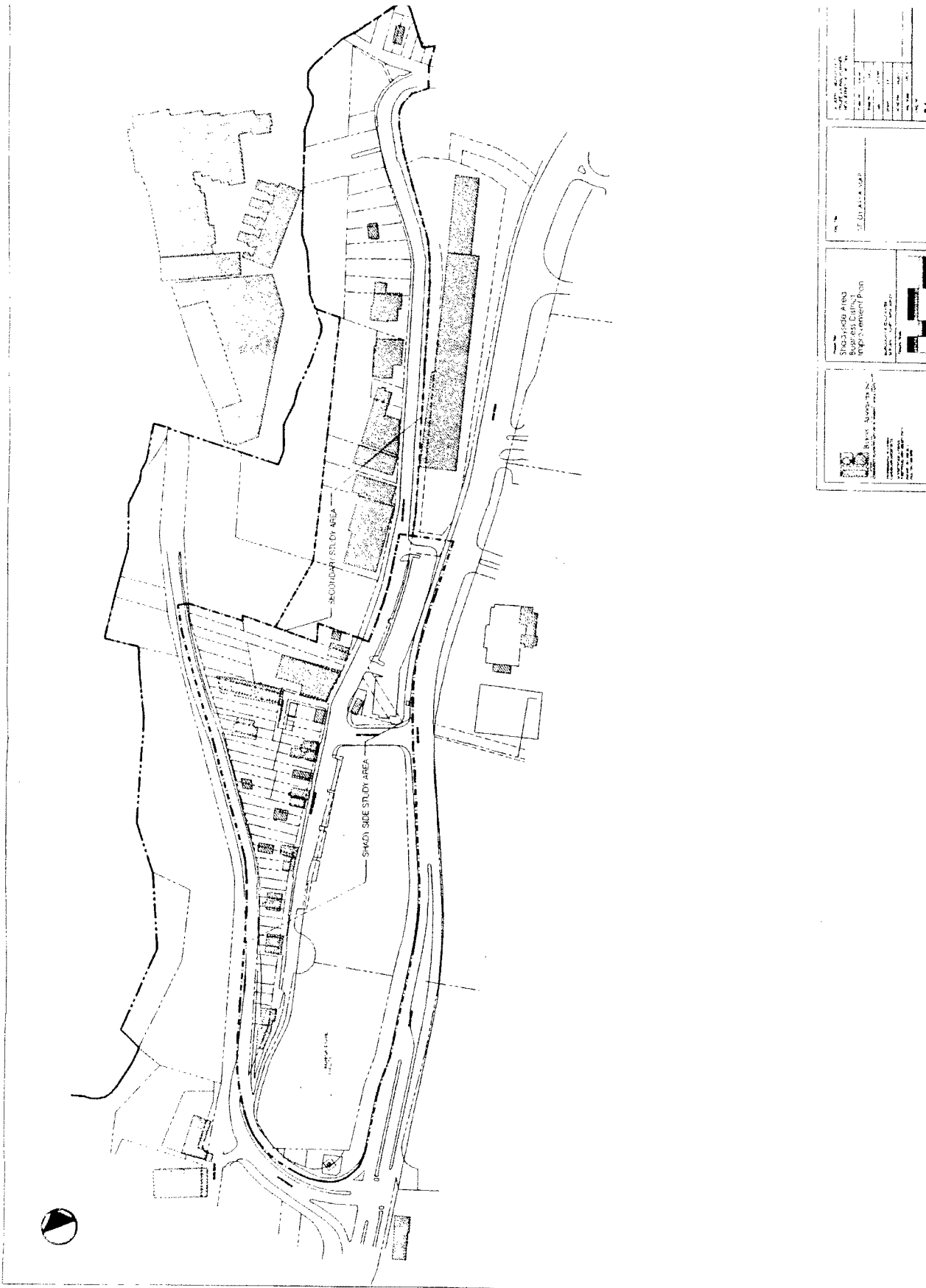
- RESIDENTIAL
- COMMERCIAL
- INDUSTRIAL
- OFFICE
- PUBLIC
- OPEN SPACE
- PARK
- OTHER
- UNDEVELOPED
- WATER
- WETLANDS
- FLOODPLAIN
- HISTORIC DISTRICT
- ENVIRONMENTAL SENSITIVE AREA
- ZONING
- PLANNING
- OFFICE & RESEARCH
- PUBLIC SPACE / OFFICE
- PARK
- OTHER

DATE: 10/1/80
SCALE: AS SHOWN

LAND USE
PLAN

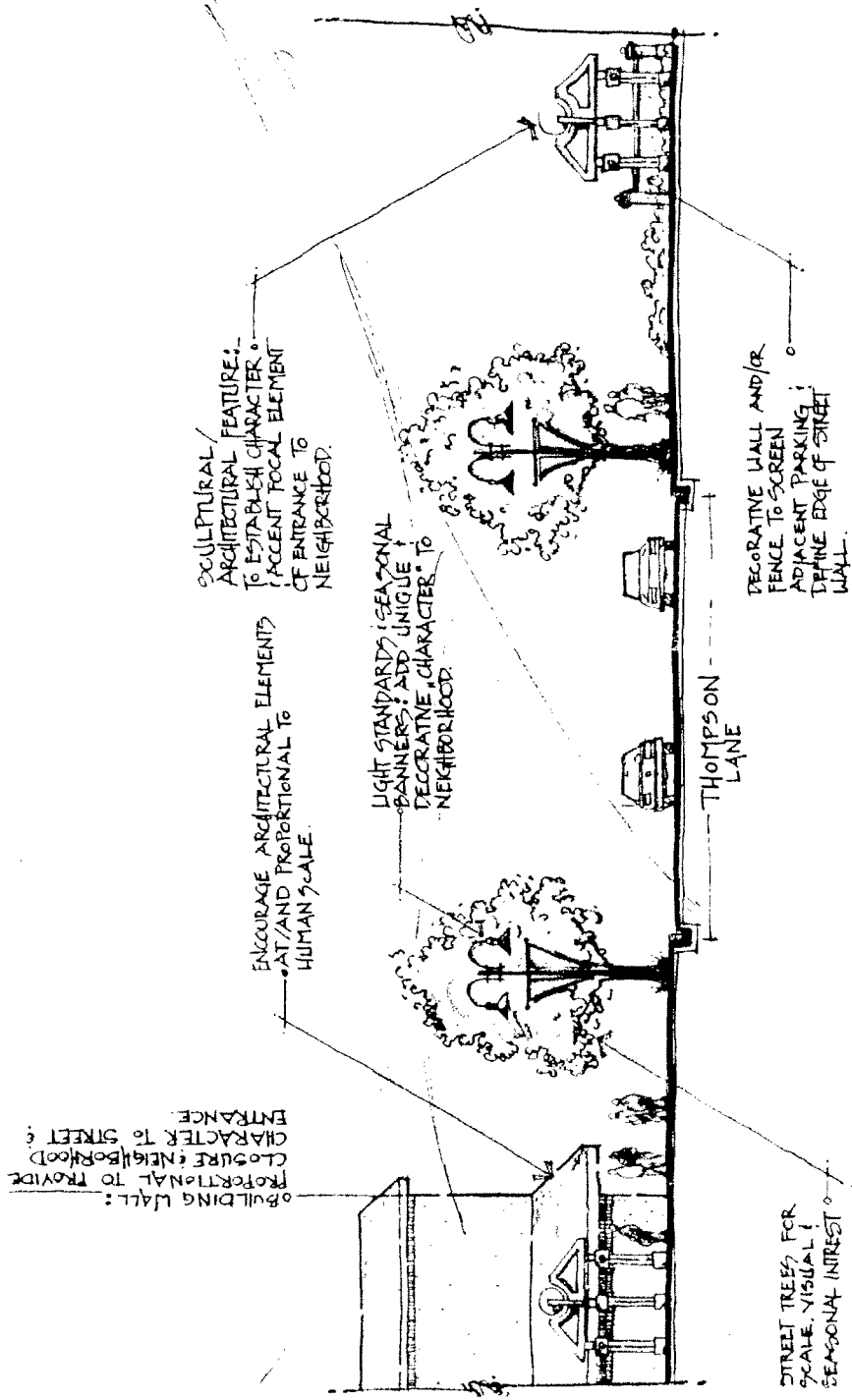
DATE	10/1/80
SCALE	AS SHOWN
PROJECT	EDENHAR MASTER PLAN
PREPARED BY	PLANNING BOARD
APPROVED BY	





		SHADY SIDE STUDY AREA PRELIMINARY PLAN	
PROJECT NO. 100-100-100-100		DATE: 10/10/10	
DRAWN BY: [Name]		CHECKED BY: [Name]	
SCALE: 1" = 100'		SHEET NO. 100-100-100-100	
PROJECT LOCATION: [Address]		PROJECT OWNER: [Organization]	
PROJECT DESCRIPTION: [Description]		PROJECT STATUS: [Status]	
PROJECT CONTACT: [Contact Info]		PROJECT PHONE: [Phone]	
PROJECT FAX: [Fax]		PROJECT EMAIL: [Email]	
PROJECT WEBSITE: [Website]		PROJECT URL: [URL]	

Drawing Name ENTRANCE OF THOMPSON LANE LOOKING WEST		Project No. 96 460 05		Drawing Date 6.22.98		Addendum No. X of X	
Project Name EDGEWATER - REEXAMINATION SHADYSIDE AREA STUDY		Drawing Scale NTS		Sheet No. X of X		Drawing No. X of X	
Burgis Associates, Inc. ARCHITECTURAL PLANNING / LANDSCAPE ARCHITECTS 10000 W. 12TH AVE. SUITE 100 DENVER, CO 80202		1997 COPYRIGHT BY - NOT TO BE REPRODUCED					



BUILDING WALL: PROPORTIONAL TO PROVIDE CLOSURE & NEIGHBORHOOD CHARACTER TO STREET & ENTRANCE.

SCULPTURAL / ARCHITECTURAL FEATURE: TO ESTABLISH CHARACTER, ACCENT FOCAL ELEMENT OF ENTRANCE TO NEIGHBORHOOD.

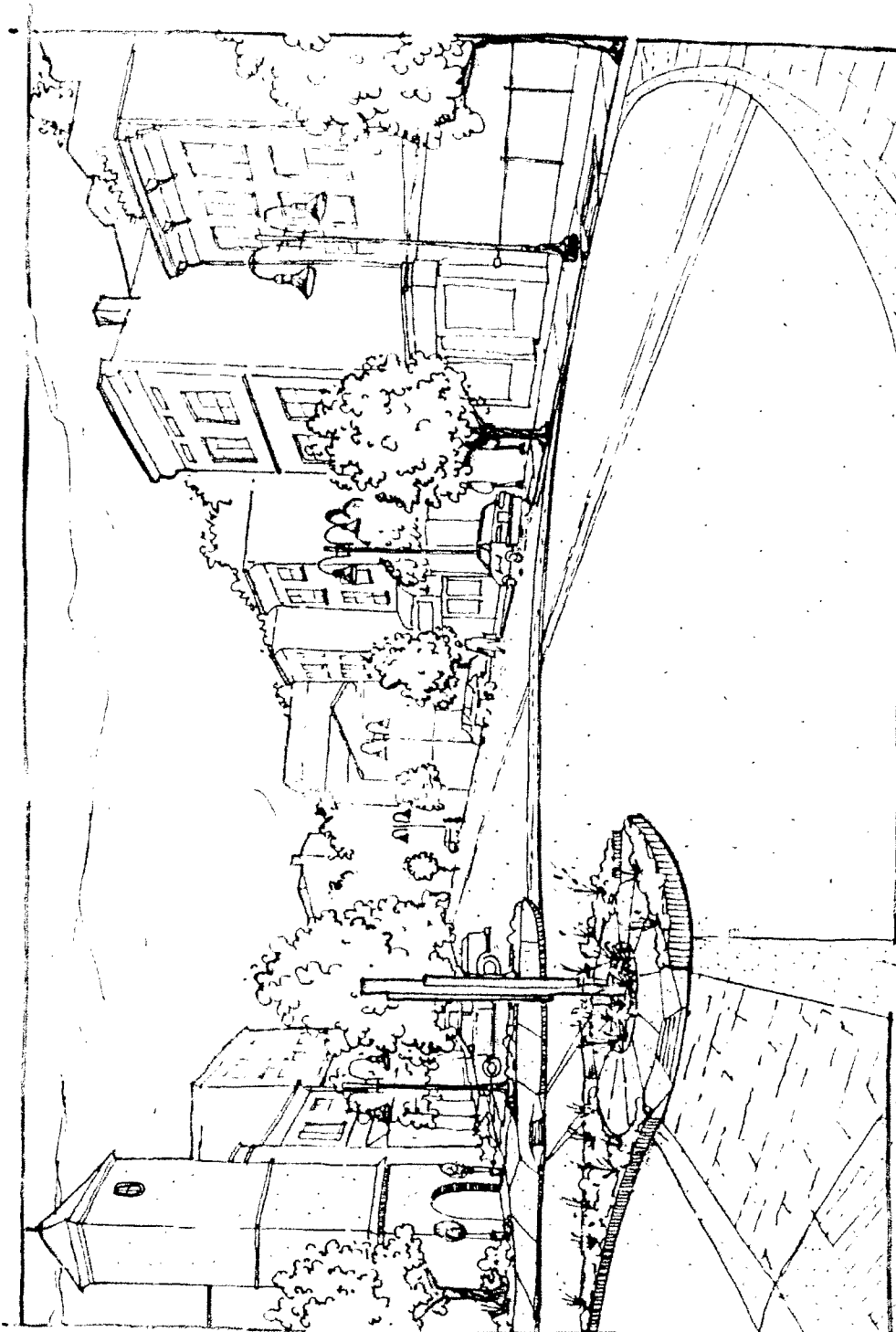
ENCOURAGE ARCHITECTURAL ELEMENTS THAT AND PROPORTIONAL TO HUMAN SCALE.


LIGHT STANDARDS, SEASONAL BANNERS, ADD UNIQUE DECORATIVE CHARACTER TO NEIGHBORHOOD.

DECORATIVE WALL AND/OR FENCE TO SCREEN ADJACENT PARKING, DEFINE EDGE OF STREET WALL.

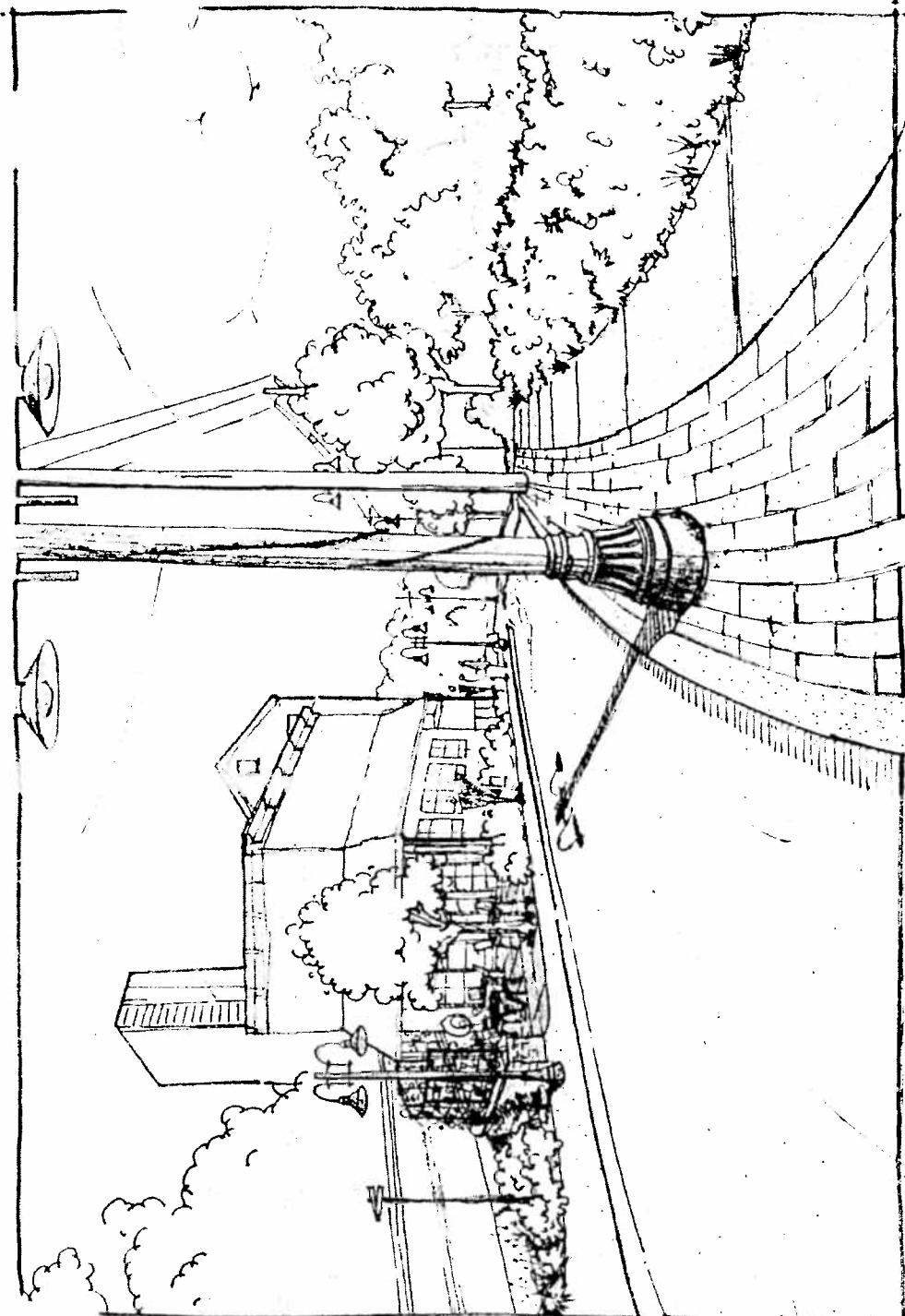
STREET TREES FOR SCALE, VISUAL, SEASONAL INTEREST.


THOMPSON LANE



Drawing Name VIGNETTE #1		Project No. 96.460.05		Drawing Date 6.22.98		Addendum No. X of X	
Project Name VIEW SOUTHBOUND AT INTERSECTION OF THOMPSON LANE & OLD RIVER ROAD		Drawing Scale N.T.S.		Sheet No. X of X		Drawing No. Y	
Project Name EDGEWATER - REEXAMINATION SHADYSIDE AREA STUDY		Project Name EDGEWATER - REEXAMINATION SHADYSIDE AREA STUDY					
 BURGESS ASSOCIATES, INC. PROFESSIONAL PLANNERS / LANDSCAPE ARCHITECTS 2150 W. 10TH AVENUE DENVER, CO 80202 TEL: 866-1811 FAX: 303-733-2588		Project Name EDGEWATER - REEXAMINATION SHADYSIDE AREA STUDY					

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Drawing Name VIGNETTE #2	Project Name EDGEWATER - REEXAMINATION SHADYSIDE AREA STUDY	Project No. 96.460.05	Drawing Date 5.22.98	Project No. X	Sheet No. X	Project No. X	Drawing No. X
 BURGESS ASSOCIATES, INC. ARCHITECTS / PLANNERS / LANDSCAPE ARCHITECTS 21 WESTWOOD AVENUE WESTWOOD, N.J. 07095 TEL: 908-811-7500 FAX: 908-811-1591		Drawing Scale N/S					